



Office of the City Manager

INFORMATION CALENDAR

October 13, 2020

To: Honorable Mayor and Members of the City Council
From: Dee Williams-Ridley, City Manager
Submitted by: Jordan Klein, Interim Director, Planning and Development
Subject: LPO NOD: 2277 Shattuck Avenue/#LMSAP2020-0001

INTRODUCTION

The attached Landmarks Preservation Commission Notice of Decision (NOD) is presented to the Mayor and City Council pursuant to Berkeley Municipal Code/Landmarks Preservation Ordinance (BMC/LPO) Section 3.24.240.A, which requires that “a copy of the Notice of Decision shall be filed with the City Clerk, and the City Clerk shall present said copy to the City Council at its next regular meeting.”

CURRENT SITUATION AND ITS EFFECTS

The Landmark Preservation Commission (LPC/Commission) has approved a Structural Alteration Permit (SAP) for the subject City Landmark site. This action is subject to a 15-day appeal period, which began on September 28, 2020.

BACKGROUND

BMC/LPO Section 3.24.300 allows City Council to review any action of the Landmarks Preservation Commission in granting or denying a Structural Alteration Permit. In order for Council to review the decision on its merits, Council must appeal the Notice of Decision. To do so, a Council member must move this Information Item to Action and then move to set the matter for hearing on its own. Such action must be taken within 15 days of the mailing of the Notice of Decision, or by October 13, 2020. Such certification to Council shall stay all proceedings in the same manner as the filing of an appeal.

If the Council chooses to appeal the action of the Commission, then a public hearing will be set. The Council must rule on the application within 30 days of closing the hearing, otherwise the decision of the Commission is automatically deemed affirmed.

Unless the Council wishes to review the determination of the Commission and make its own decision, the attached NOD is deemed received and filed.

ENVIRONMENTAL SUSTAINABILITY

Landmark designation provides opportunities for the adaptive re-use and rehabilitation of historic resources within the City. The rehabilitation of these resources, rather than their removal, achieves construction and demolition waste diversion, and promotes investment in existing urban centers.

POSSIBLE FUTURE ACTION

The Council may choose to appeal the decision, in which case it would conduct a public hearing at a future date.

FISCAL IMPACTS OF POSSIBLE FUTURE ACTION

There are no known fiscal impacts associated with this action.

CONTACT PERSON

Fatema Crane, Landmarks Preservation Commission Secretary, Planning and Development, 510-981-7410

Attachments:

- 1: Notice of Decision – #LMSAP2020-0001, 2277 Shattuck Avenue/The Hezlett’s Silk Store Building



L A N D M A R K S
P R E S E R V A T I O N
C O M M I S S I O N
NOTICE OF DECISION

DATE OF BOARD DECISION: September 3, 2020
DATE NOTICE MAILED: September 28, 2020
APPEAL PERIOD EXPIRATION: October 13, 2020
EFFECTIVE DATE OF PERMIT (Barring Appeal or Certification): October 14, 2020¹

2277 Shattuck Avenue – The Hezlett’s Silk Store Building

Structural Alteration Permit (#LMSAP2020-0001) to install two new entry gates at the front of the landmark building.

The Landmarks Preservation Commission of the City of Berkeley, after conducting a public hearing, **APPROVED** the following permit:

PERMITS REQUIRED:

- Structural Alteration Permit, pursuant to Berkeley Municipal Code Section 3.24.200

APPLICANT: David Trachtenberg, Trachtenberg Architects, 2421 Fourth Street, Berkeley, CA

ZONING DISTRICT: Commercial Downtown Mixed-Use Outer Core (C-DMU Outer Core)

ENVIRONMENTAL REVIEW STATUS: Categorically exempt pursuant to Section 15331 of the CEQA Guidelines for Historical Resource Rehabilitation.

The application materials for this project are available online at:

¹ Pursuant to BMC Section 23B.32.090, the City Council may “certify” any decision of the LPC for review, which has the same effect as an appeal. In most cases, the Council must certify the LPC decision during the 14-day appeal period. However, pursuant to BMC Section 1.04.070, if any portion of the appeal period falls within a Council recess, the deadline for Council certification is suspended until the first Council meeting after the recess, plus the number of days of the appeal period that occurred during the recess, minus one day. If there is no appeal or certification, the Use Permit becomes effective the day after the certification deadline has passed.

LANDMARKS PRESERVATION COMMISSION
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Structural Alteration Permit - #LMSAP2020-0001
2277 Shattuck Avenue – The Hezlett’s Silk Store Building
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<http://www.cityofberkeley.info/zoningapplications>

FINDINGS, CONDITIONS AND APPROVED PLANS ARE ATTACHED TO THIS NOTICE

COMMISSION VOTE: 7-0-1-1

YES: ABRANCHES DA SILVA, ADAMS, ALLEN, CRANDALL, ENCHILL, JOHNSON,
MONTGOMERY

NO: NONE

ABSTAIN: FINACOM

ABSENT: SCHWARTZ

Note New Methods for Submitting Appeals during Shelter-In-Place Order

TO APPEAL THIS DECISION (see Section 3.24.300 of the Berkeley Municipal Code):

To appeal a decision of the Landmarks Preservation Commission to the City Council during the 2020 City Council Shelter-In-Place Order, you must:

1. Mail a letter clearly and concisely setting forth the grounds for the appeal with a check or money order for required fees to the City Clerk, located at 2180 Milvia Street, 1st Floor, Berkeley, 94704. The City Clerk’s telephone number is (510) 981-6900.

OR

Alternatively, you may email your complete appeal and all attachments to the Planning Department at planning@cityofberkeley.info and include a telephone number where you can be reached during the day. Planning Department staff will call you within three business days to obtain payment information for the required fees by credit card *only*.

- a. Pursuant to BMC Section 3.24.300.A, an appeal may be taken to the City Council by the application of the owners of the property or their authorized agents, or by the application of at least fifty residents of the City aggrieved or affected by any determination of the commission made under the provisions of Chapter 3.24.
2. Submit the required fee (checks and money orders must be payable to ‘City of Berkeley’):
 - a. The basic fee for persons other than the applicant is \$500. This fee may be reduced to \$100 if the appeal is signed by persons who lease or own at least 50 percent of the parcels or dwelling units within 300 feet of the project site, or at least 25 such persons (not including dependent children), whichever is less. Signatures collected

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per the filing requirement in BMC Section 3.24.300.A may be counted towards qualifying for the reduced fee, so long as the signers are qualified. The individual filing the appeal must clearly denote which signatures are to be counted towards qualifying for the reduced fee.

- b. The fee for appeals of affordable housing projects (defined as projects which provide 50 percent or more affordable units for households earning 80% or less of Area Median Income) is \$500, which may not be reduced.
- c. The fee for all appeals by Applicants is \$2500.
3. The appeal must be received prior to 5:00 p.m. on the "APPEAL PERIOD EXPIRATION" date shown above (if the close of the appeal period falls on a weekend or holiday, then the appeal period expires the following business day).

If no appeal is received, the landmark designation will be final on the first business day following expiration of the appeal period.

NOTICE CONCERNING YOUR LEGAL RIGHTS:

If you object to this decision, the following requirements and restrictions apply:

1. If you challenge this decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Landmarks Preservation Commission at, or prior to, the public hearing.
2. You must appeal to the City Council within fifteen (15) days after the Notice of Decision of the action of the Landmarks Preservation Commission is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a “taking” of property for public use without just compensation under the California or United States Constitutions, your appeal of this decision must including the following information:

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- A. That this belief is a basis of your appeal.
- B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
- C. All evidence and argument in support of your belief that the decision or condition constitutes a “taking” as set forth above.

If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.

PUBLIC COMMENT:

Communications to Berkeley boards, commissions or committees are public record and will become part of the City’s electronic records, which are accessible through the City’s website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

FURTHER INFORMATION:

Questions about the project should be directed to the project planner, Fatema Crane, at (510) 981-7410 or fcrane@cityofberkeley.info. All project application materials, including full-size plans, may be viewed at the Permit Service Center (Zoning counter), 1947 Center Street, 3rd Fl., between 8 a.m. and 4 p.m., Monday through Friday, except Tuesday when the Center closes at 3PM.

ATTACHMENTS:

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- 1. Findings and Conditions
 - 2. Project Plans



ATTEST: _____
Fatema Crane, Secretary
Landmarks Preservation Commission

Cc:
City Clerk
Applicant: David Trachtenberg, Trachtenberg Architects, 2421 Fourth Street, Berkeley, CA

FINDINGS AND CONDITIONS

2277 Shattuck Avenue – The Hezlett’s Silk Store Building

Structural Alteration Permit LMSAP#2020-0001

To install two new entry gates at the front of the landmark building.

CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines (“Historic Resource Restoration/Rehabilitation”). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

SECRETARY OF THE INTERIOR’S STANDARDS FINDINGS

Regarding the Secretary of the Interior’s Standards for Restoration, the Landmarks Preservation Commission of the City of Berkeley makes the following findings:

1. The property will be used as a commercial space, as it was historically.
2. The historic character of the property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize this property have been avoided.
3. This property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken in this project.
4. Changes to the property that have acquired historic significance in their own right are not affected by this proposal.
5. If affected, distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize the historic period will be preserved.
6. Deteriorated features from the historic period will be repaired rather than replaced if affected. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Any archeological resources at this site will be unaffected by the proposed work which includes no excavation.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work

will be differentiated from the old where possible and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. If the new gates were removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

FINDINGS FOR APPROVAL

1. As required by Section 3.24.260 of the Landmarks Preservation Ordinance, the Commission finds that proposed work is appropriate for and consistent with the purposes of the Ordinance, and will preserve and enhance the characteristics and features specified in the designation for this property. Specifically, the Commission finds that:
 - The proposed entry gates will not result in a substantial change to the overall character of this Mediterranean Revival building. The new work will retain the building's overall massing, scale, and form, and will not remove existing, character-defining features of the building such as three central arched windows on the upper façade, decorative clay tile, smooth coated stucco on the front façade, brick on the sides and rear of the building, decorative elements, and terrazzo tile on the floor of the exterior entryway.

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Landmarks Preservation Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Permit, under the title 'Structural Alteration Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Plans and Representations Become Conditions

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

3. Subject to All Applicable Laws and Regulations

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

4. Exercise and Lapse of Permits (Section 23B.56.100)

- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- A. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has:
 - (1) applied for a building permit; or
 - (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

5. Indemnification Agreement

The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval

ADDITIONAL CONDITIONS

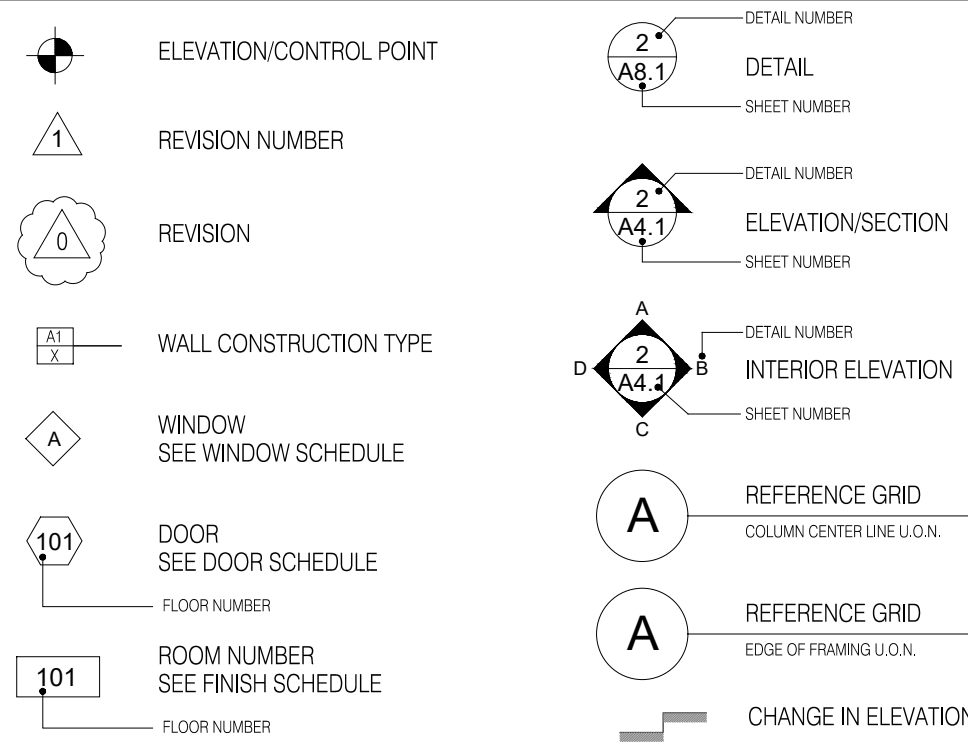
The following additional conditions are attached to this Permit:

- 6. **Repair and replacement of character-defining features.** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old or historic feature in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence. Mortared rock wall repair shall include only appropriately sourced rock and be directed by professionals with relevant expertise.
- 7. **Chemical Treatments.** Any chemical treatments needed as construction progresses will be undertaken using the gentlest means possible.

GENERAL NOTES

1. THE CONTRACTOR SHALL EXECUTE THE WORK OF THIS PROJECT IN FULL COMPLIANCE WITH THE FOLLOWING CODE EDITIONS: 2016 CBC, 2016 CHBC, 2016 CECB, 2016 CMC, 2016 CPC, 2016 CFC, 2016 CEC, 2016 TITLE 24 ENERGY STANDARDS AND THE 2016 CAL GREEN BUILDING STANDARDS CODE, AS AMENDED BY THE CITY OF BERKELEY. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE REGULATIONS, LAWS, ORDINANCES AND ORDERS BY ANY PUBLIC AUTHORITY HAVING JURISDICTION OVER THE PROJECT. THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT IN A TIMELY FASHION ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF APPLICABLE CODES AND THE DRAWINGS OF WHICH THE CONTRACTOR IS OR BECOMES AWARE.
2. THE CONTRACTOR SHALL STUDY THE CONTRACT DOCUMENTS AND REPORT TO THE ARCHITECT IN WRITING ALL INCONSISTENCIES AND OMISSIONS HE FINDS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING CONDITIONS OF THE SITE AND PROJECT PRIOR TO COMMENCING WORK. IF THE CONTRACTOR PROCEEDS WITH ANY OF THE WORK WITHOUT INSTRUCTIONS OF THE ARCHITECT, WHERE SUCH INSTRUCTIONS ARE REQUIRED BY THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL MAKE GOOD AT HIS OWN COST ANY RESULTING ERROR, DAMAGE, OR DEFECTS.
3. WRITTEN DIMENSIONS ON DRAWINGS SHALL TAKE PRECEDENCE OVER DIMENSIONS SCALED FROM DRAWINGS. CONTRACTOR SHALL NOT SCALE DRAWINGS. IF A DIMENSION(S) HAS BEEN OMITTED THE CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE ARCHITECT IN A TIMELY FASHION.
4. CONTRACTOR SHALL VERIFY DIMENSIONS AND DETAILS OF ALL PROJECT COMPONENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION CLEARANCES OF ALL ITEMS, INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL EQUIPMENT, AND CABINET WORK, TO BE INSTALLED IN THE PROJECT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTION PROGRAMS IN CONNECTION WITH WORK, AND FOR MAINTAINING APPROPRIATE INSURANCE TO PROTECT THE CONTRACTOR, THE OWNER AND THE ARCHITECT.
6. CONTRACTOR SHALL PROTECT THE ADJACENT PROPERTY, THE PUBLIC AND SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY DUE TO HIS NEGLIGENCE.
7. THE ARCHITECT WILL ASSIST THE OWNER IN SUBMITTING PLANS TO THE DEPARTMENT OF BUILDINGS FOR BUILDING PERMIT APPLICATION; ARCHITECT WILL ANSWER BUILDING DEPARTMENTS' PLAN CHECK COMMENTS AND RE SUBMIT AS REQUIRED. THE OWNER WILL SECURE AND PAY FOR THE BUILDING PERMIT. CONTRACTOR WILL PAY FOR ALL OTHER PERMITS (INCLUDING ANY REQUIRED SIDEWALK SHED PERMITS, PARKING OR DUMPSTER PERMITS), LICENSES, INSPECTIONS AND THE LIKE REQUIRED TO EFFECT THE WORK OF THE CONTRACT DOCUMENTS THROUGH RECEIPT OF A CERTIFICATE OF OCCUPANCY.
8. CONTRACTOR SHALL CONSULT WITH REPRESENTATIVES OF APPLICABLE UTILITIES, INCLUDING BUT NOT LIMITED TO GAS, WATER, POWER, SEWER, TELEPHONE, AND CABLE TELEVISION, DETERMINE EXACT LOCATIONS AND AVAILABILITY OF UTILITIES, AND DETERMINE CONDITION OF EXISTING SERVICE PRIOR TO COMMENCING WORK. CONTRACTOR SHALL ADVISE ARCHITECT AND OWNER OF UNANTICIPATED CHANGES TO THE EXISTING SERVICES REQUIRED FOR THE SUCCESSFUL COMPLETION AND OPERATION OF THE PROJECT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
9. CONTRACTOR SHALL ERECT AND MAINTAIN TEMPORARY BARRICADES AND DUST-PROOF PARTITIONS AS NEEDED FOR PROTECTION AGAINST NUISANCE AND ACCIDENT, AND SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION OF HIS WORK AND THE OWNER'S PROPERTY FROM DAMAGE OR LOSS ARISING IN CONNECTION WITH THE WORK OF THIS PROJECT.
10. IMPROVEMENTS ON THE SITE, WORK IN PROGRESS, STORED MATERIALS ON PROPERTY SHALL BE PROTECTED BY THE CONTRACTOR FROM DAMAGE ARISING FROM THE WORK AND FROM NORMAL USE OF THE SITE DURING THE COURSE OF THE WORK, WHETHER BY THE CONTRACTOR OR ANY OTHER PARTY. ALL ITEMS DAMAGED DUE TO INSUFFICIENT PROTECTION SHALL BE FULLY RESTORED TO THEIR PRIOR CONDITION BY THE CONTRACTOR AT NO COST TO THE OWNER.
11. PARTITION DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. OTHER COMPONENTS ARE DIMENSIONED TO DIMENSION POINTS SHOWN ON DETAILS, OR AS NOTED ON THE DRAWINGS.
12. NO PART OF THE STRUCTURE SHALL BE OVERLOADED BEYOND ITS SAFE CARRYING CAPACITY BY THE PLACING OF MATERIALS, EQUIPMENT, TOOLS, MACHINERY OR ANY OTHER ITEMS DURING THE COURSE OF THE CONTRACTORS WORK.
13. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN HIS AND THE SURROUNDING AREA REMOVE ALL WASTE MATERIALS AND RUBBISH FROM THE PROJECT AS WELL AS HIS OR HER TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SUPPLUS MATERIALS. THE CONTRACTOR SHALL REMOVE PUTTY AND PAINT FROM ALL GLASS, MIRRORS, AND WASH AND POLISH SAME. REMOVE ALL LABELS, TAGS, GREASE, DIRT, STAINS, ETC. AND CLEAN ALL FIXTURES AND EQUIPMENT TO THE EXTENT OF RESTORING THEM TO THE ORIGINAL FINISH.
14. THE CONTRACTOR SHALL MAINTAIN A CURRENT COPY OF THE 2013 CBC ON SITE.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE, CONSTRUCTION-IN-PROGRESS, AND STORED MATERIALS AND EQUIPMENT, WHETHER ON- OR OFF-SITE.
16. THE OWNER SHALL PAY FOR TESTING OF ANY MATERIALS DISCOVERED ON THE SITE BY THE ARCHITECT, OWNER OR CONTRACTOR SUSPECTED OF CONTAINING TOXIC SUBSTANCES REQUIRING SPECIAL REMOVAL AND DISPOSAL. CHANGES TO THE CONTRACT RESULTING FROM THE DISCOVERY, TESTING, OR REMOVAL OF SUCH MATERIALS (IF ANY) SHALL BE EFFECTED BY A CHANGE ORDER.
17. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL WORK PROVIDED BY ANY AND ALL SUBCONTRACTORS. GENERAL NOTES THAT REFER TO 'CONTRACTOR' INCLUDE ALL WORK PROVIDED BY SUBCONTRACTORS. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS, AND CONDITIONS IN FIELD PRIOR TO THE START OF PROJECT AND AT APPROPRIATE TIMES DURING THE COURSE OF CONSTRUCTION BEFORE RELATED PROJECT PHASES.
18. EACH SUBCONTRACTOR IS CONSIDERED A SPECIALIST IN HIS RESPECTIVE FIELD AND SHALL PRIOR TO THE SUBMISSION OF HIS BID AND THE PERFORMANCE OF WORK, NOTIFY THE CONTRACTOR OF ANY WORK CALLED OUT IN THE CONSTRUCTION DOCUMENTS WHICH CANNOT BE EXECUTED AS INDICATED OR CANNOT BE FULLY GUARANTEED. THE CONTRACTOR WILL THEN NOTIFY THE OWNER AND ARCHITECT PRIOR TO ACCEPTANCE OF SUBCONTRACTORS BID.
19. THE ARCHITECT HAS MADE THE ASSUMPTION THAT EXISTING CONCEALED CONDITIONS ARE STANDARD. THE CONTRACTOR WILL BE EXPECTED TO PERFORM THE NECESSARY WORK TO COMPLETE THE INDICATED CONSTRUCTION. IN THE EVENT THAT DEMOLITION REVEALS UNEXPECTED CONDITIONS, THE CONTRACTOR MUST INFORM THE OWNER AND ARCHITECT OF ANTICIPATED CHANGE ORDERS IN ADVANCE.
20. CONTRACTOR IS TO PROVIDE SAMPLES OF REQUESTED SUBMITTALS AND OF ALL PROPOSED MATERIAL SUBSTITUTIONS TO THE ARCHITECT FOR REVIEW. THE ARCHITECT WILL REQUIRE FIVE WORKING DAYS FOR REVIEW OF ALL SUBMITTALS INCLUDING SHOP DRAWINGS. SHOP DRAWINGS AND MATERIALS TO THE ARCHITECT WILL HAVE BEEN REVIEWED AND APPROVED BY THE CONTRACTOR. BY SUBMITTING SHOP DRAWINGS AND SUBMITTALS TO THE ARCHITECT, THE CONTRACTOR REPRESENTS THAT THE CONTRACTOR HAS DETERMINED AND VERIFIED MATERIAL, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION RELATED THERETO, AND HAS CHECKED AND COORDINATED THE INFORMATION CONTAINED WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND OF THE CONTRACT DOCUMENTS. THE ARCHITECT'S REVIEW OF SUBMITTALS AND SHOP DRAWINGS IS FOR CONFIRMATION OF DESIGN INTENT ONLY.
21. THESE CONTRACT DOCUMENTS INTEND TO DESCRIBE A FINISHED PROJECT READY FOR LEGAL USE.
22. ANY CHANGE, MODIFICATION OR INTERPRETATION OF THE SCOPE OR REQUIREMENTS OF THESE DOCUMENTS, UNDERTAKEN WITHOUT CONSULTATION WITH THE ARCHITECT (AND ANY UNFORESEEN CONDITIONS RESULTING THEREFROM) SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR AS THE CASE MAY BE. AS STIPULATED IN THE OWNER/ARCHITECT AGREEMENT, TRACHTENBERG ARCHITECTS SHALL BE HELD HARMLESS FROM ANY CLAIMS RESULTING FROM SUCH ACTIVITY

SYMBOL LEGEND



PROJECT DIRECTORY

OWNER:
John Gordon/Janis Mitchell
2091 Rose Street
Berkeley, CA 94709
(510)704-1800

ARCHITECT:
Trachtenberg Architects, Inc.
2421 Fourth Street
Berkeley, CA 94710
(510) 849-1414
www.TrachtenbergArch.com

PROJECT DESCRIPTION

PROJECT ADDRESS: 2277 Shattuck Avenue, Berkeley, CA 94704 (APN: 057 202901100)

SCOPE OF WORK: NEW ENTRY GATES ONLY

SHELL IMPROVEMENTS FOR FUTURE TENANT IMPROVEMENTS (LMSAP2018-0001 & B2018-02935) & TENANT IMPROVEMENT UNDER SEPARATE PERMIT

ZONING CODE ANALYSIS
(BASED ON THE BERKELEY ZONING ORDINANCE)

ZONING: C-DMU OUTER CORE COMMERCIAL DISTRICT

EXISTING USE: RETAIL

PROPOSED USE: RETAIL (NO CHANGE)

	EXISTING	PROPOSED	PERMITTED/REQUIRED
PARKING:	0	0	0 - EXISTING NON-CONFORMING
SETBACKS (BUILDING 0-20' HEIGHT)			
FRONT:	0'-0"	(NO CHANGE)	0'-0"
SIDE (LEFT):	0'-0"	(NO CHANGE)	0'-0"
SIDE (RIGHT):	0'-0"	(NO CHANGE)	0'-0"
REAR:	0'-0"	(NO CHANGE)	0'-0"
BUILDING HEIGHT:	±26'-9"	(NO CHANGE)	60'-0"
BUILDING STORIES:	2+BASEMENT	(NO CHANGE)	N/A
LOT AREA:	3,074 SF		
FLOOR AREA:			
MAIN BUILDING			
BASEMENT	3,018 SF	3,018 SF	
GROUND FLOOR	2,783 SF	2,783 SF	
SECOND FLOOR	2,501 SF	2,501 SF	
TOTAL	8,302 SF	8,302 SF	
BUILDING FOOTPRINT:	3,018 SF		
LOT COVERAGE:	98%	98%	N/A
USEABLE OPEN SPACE:	0	0	N/A (NEW BUILDINGS ONLY)
FAR:	2.75	2.75	N/A

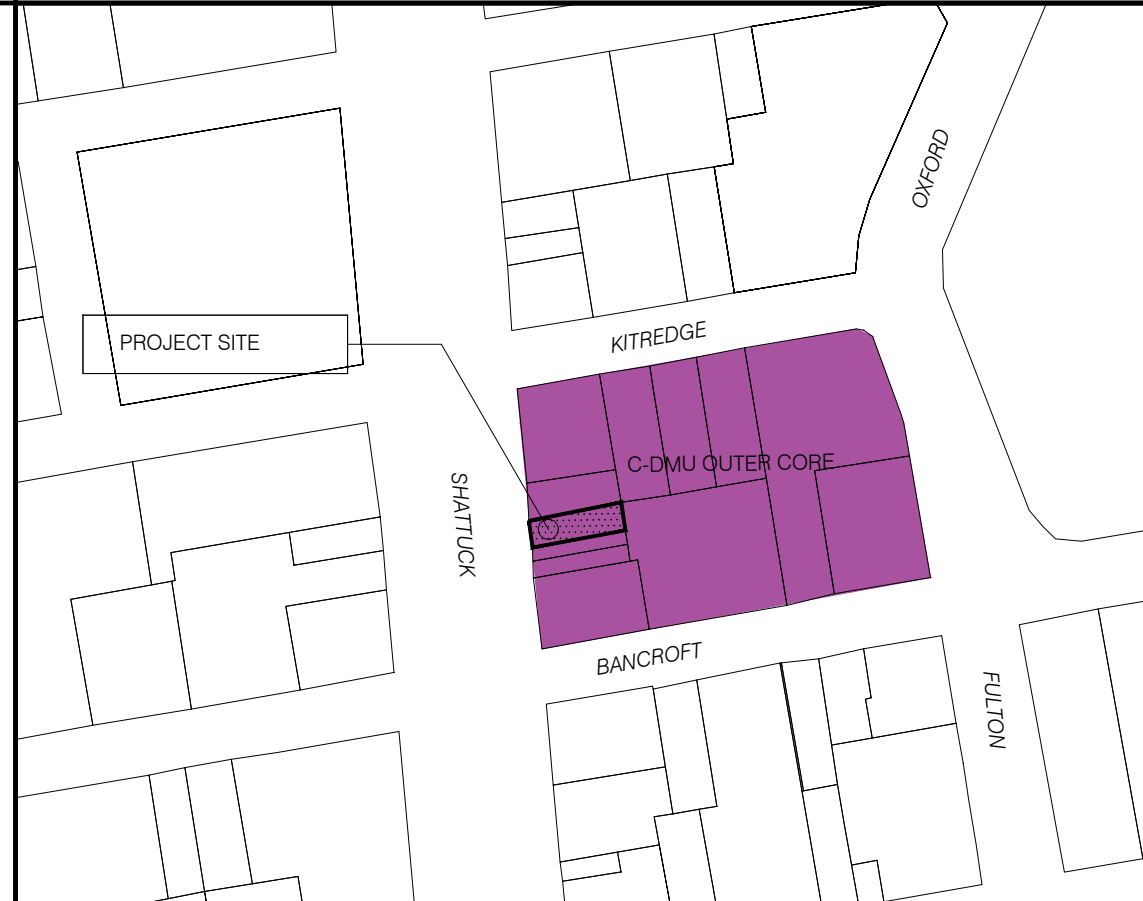
DRAWING LIST

SHEET NO. & TITLE	SUBMISSION & DATE
ARCHITECTURAL DRAWINGS	07/16/2020 LANDMARKS SAP
A0.0 GENERAL INFORMATION	●
A1.1 SITE PLAN	●
A2.0A EXISTING FLOOR DEMO PLANS	●
A2.0B EXISTING FLOOR/ROOF DEMO PLANS	●
A2.1 PROPOSED FLOOR PLANS	●
A2.2 PROPOSED FLOOR/ROOF PLANS	●
A3.1 EXTERIOR ELEVATIONS	●
A3.2 EXTERIOR ELEVATIONS	●
A4.1 EAST-WEST BUILDING SECTION	●
A8.1 DETAILS	●
MAT MATERIAL BOARD	●

ABBREVIATIONS

&	AND	JT.	JOINT
L	ANGLE	LAM.	LAMINATE
@	AT	LT.	LIGHT
CL	CENTER LINE	M.B.	MACHINE BOLT
#	POUND OR NUMBER	MAX.	MAXIMUM
d	PENNY	MECH.	MECHANICAL
ACOUS.	ACOUSTIC	MEMB.	MEMBRANE
ADJ.	ADJUSTABLE	MET./MTL.	METAL
APPROX.	APPROXIMATE	MFR.	MANUFACTURER
A.F.F.	ABOVE FINISH FLOOR	MIN.	MINIMUM
ALT.	ALTERNATE	MISC.	MISCELLANEOUS
ALUM.	ALUMINUM	M.O.	MASONRY OPENING
A.B.	ANCHOR BOLT	MTD.	MOUNTED
BD.	BOARD	MUL.	MULLION
BITUM.	BITUMINOUS		
BUILD.	BUILDING	(N)	NEW
BLK.	BLOCK	N	NORTH
BLKG.	BLOCKING	N.I.C.	NOT IN CONTRACT
B.T.	BOTTOM OF TRUSS	NO.	NUMBER
BRS	BACKER ROD AND SEALANT	N.T.S.	NOT TO SCALE
CLG.	CEILING	O/	OVER
C.T.	CERAMIC TILE	O.C.	ON CENTER
CLKG.	CAULKING	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
CLR.	CLEAR		
CONC.	CONCRETE	P. LAM.	PLASTIC LAMINATE
CONN.	CONNECTION	PLYWD.	PLYWOOD
CONSTR.	CONSTRUCTION	P.T.	PRESSURE-TREATED
C.J.	CONTROL JOINT	PTD.	PAINTED
CONT.	CONTINUOUS	PTN.	PARTITION
CTSK.	COUNTERSUNK		
CMU	CONCRETE MASONRY UNIT	Q.T.	QUARRY TILE
D	DEPTH	R.	RISER
DBL.	DOUBLE	RAD.	RADIUS
DET./DTL.	DETAIL	REF.	REFRIGERATOR
D.F.	DOUGLAS FIR	REFR.	REFINISHED
DM.	DIAMETER	REQ.	REQUIRED
DM.	DIMENSION	RESIL.	RESILIENT
DN.	DOWN	RM.	ROOM
DWG.	DRAWING	R.O.	ROUGH OPENING
EA.	EACH	RWD.	REDWOOD
ELEC.	ELECTRICAL	RWL.	RAINWATER LEADER
ELEV.	ELEVATION		
EQ.	ELECTRICAL PANEL	SQ. FT.	SQUARE FEET
E.P.	EQUAL	SHT.	SHEET
EQ.	EQUAL	SQ. IN.	SQUARE INCH
(E)	EXISTING	SM.	SIMILAR
EXP./JT.	EXPANSION JOINT	S.L.D.	SEE LANDSCAPE DRAWING
EXT.	EXTERIOR	S.M.D.	SEE MECHANICAL DRAWING
F.D.	FLOOR DRAIN	SPEC.	SPECIFICATIONS
F.E.	FIRE EXTINGUISHER	SQ.	SQUARE
F.F.	FINISH FLOOR	S.S.	STAINLESS STEEL
F.F.E.	FINISH FLOOR ELEVATION	STD.	STANDARD
FN.	FINISH	STL.	STEEL
FL	FLOOR	STOR.	STORAGE
F.O.C.	FACE OF CONCRETE	STR.	SEE STRUCTURAL DRAWING
F.O.F.	FACE OF FINISH		
F.O.M.	FACE OF MASONRY	TEL.	TELEPHONE
F.O.S.	FACE OF STUD	T&G	TONGUE AND GROOVE
F.O.S.H.	FACE OF SHEATHING	T.	TREAD
FT	FOOT	THK.	THICK
FTG.	FOOTING	TR.	TYPICAL
FUR.	FURRING	TYP.	TYPICAL
GA.	GAUGE	T.O.	TOP OF
G.C.	GENERAL CONTRACTOR	T.O.C.	TOP OF CONCRETE
GL	GLASS	T.O.D.	TOP OF OUTRIGGER
GSM	GALVANIZED SHEET METAL	T.O.P.	TOP OF PLATE
GYP. BD/	GYP. WALL BOARD	T.O.S.	TOP OF SLAB
GWB.		T.O.T.	TOP OF TRUSS
H	HEIGHT	U.O.N.	UNLESS OTHERWISE NOTED
H.B.	HOSE BIB	VERT.	VERTICAL
H.C.	HOLLOW CORE	V.I.F.	VERIFY IN FIELD
HDWD.	HARDWOOD	V.G.	VERTICAL GRAIN
HDWR.	HARDWARE	W	WIDTH
HQRZ.	HORIZONTAL	W/	WITH
HR.	HOUR	WD.	WOOD
HW	HARDWOOD	WDW	WINDOW
IN.	INCH	W/O	WITHOUT
INTM.	INTERMEDIATE	WP	WATERPROOF
INSUL.	INSULATION	WRC	WESTERN RED CEDAR
INT.	INTERIOR		

VICINITY MAP



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SCALE: - DATE:

SHEET:
**GENERAL
INFORMATION**

A0.0

GENERAL SHEET NOTES

1. THIS SITE MUST IMPLEMENT APPLICABLE PORTIONS OF THE STATE STORM WATER BEST MANAGEMENT PRACTICES MANUAL FOR CONSTRUCTION TO THE MAXIMUM EXTENT PRACTICABLE TO PREVENT EROSION AND SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. FAILURE TO UTILIZE ADEQUATE CONTROL IS A VIOLATION OF BMC 17.20. A COPY OF THE MANUAL IS AVAILABLE UPON REQUEST AT THE PERMIT SERVICE CENTER AND AVAILABLE ONLINE AT www.cabmphandbooks.com
2. CONTRACTOR TO OBTAIN A SEPARATE PUBLIC WORKS ENGINEERING PERMIT FROM THE PERMIT SERVICE CENTER FOR ALL WORK IN THE PUBLIC RIGHT OF WAY.
3. PER BMC 16.06.020, A NEW SIDEWALK CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY CONTIGUOUS TO THE PROPERTY IS REQUIRED TO BE INSTALLED. THE NEW SIDEWALK MUST BE INSTALLED AT 2% CROSS-SLOPE TO MEET ACCESSIBILITY STANDARDS. SIDEWALK ELEVATIONS AT ACCESSIBLE ENTRANCES SHOULD BE CAREFULLY CHECKED FOR COMPLIANCE WITH DISABLED ACCESS REQUIREMENTS.
- 3.1. THE REQUIREMENT IS WAIVED IF THE EXISTING SIDEWALK IS IN EXCELLENT CONDITION, FREE OF CRACKS AND DISPLACEMENT, WITH A CROSS-SLOPE WHICH DOES NOT EXCEED 2%. IF YOU FEEL YOU MEET THIS REQUIREMENT, PLEASE SCHEDULE AN APPOINTMENT WITH AN ENGINEERING INSPECTOR AT 981-7500 SO THAT THE CONDITIONS MAY BE FIELD VERIFIED.
4. CONTRACTOR TO OBTAIN A SEPARATE PUBLIC WORKS ENGINEERING PERMIT FROM THE PERMIT SERVICE CENTER FOR ALL WORK IN THE PUBLIC RIGHT OF WAY.
5. WALKWAYS ALONG ACCESSIBLE ROUTE OF TRAVEL (1) ARE CONTINUOUSLY ACCESSIBLE, (2) HAVE MAXIMUM 1/2" CHANGES IN ELEVATION, (3) ARE MINIMUM 48" IN WIDTH, (4) HAVE MAXIMUM 1/4" PER FOOT CROSS SLOPES, (5) HAVE MAXIMUM 5% (1:20) RUNNING SLOPES, AND (6) HAVE 36" WIDE CONTINUOUS DETECTABLE WARNINGS (COMPLYING WITH CBC SEC. 11B-705.1.1 & 11B-705.1.2.5) WHERE THE PEDESTRIAN PATH CROSSES OR ADJOINS A VEHICULAR WAY SUCH AS A DRIVEWAY TO WARN OF POTENTIAL HAZARDS. (CBC SEC. 11B-247.1.2.5)

LEGEND

■■■■■■ ACCESSIBLE ROUTE (SEE NOTE #4) PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGNAGE AT ACCESSIBLE BUILDING ENTRANCES (SEE 11A02)

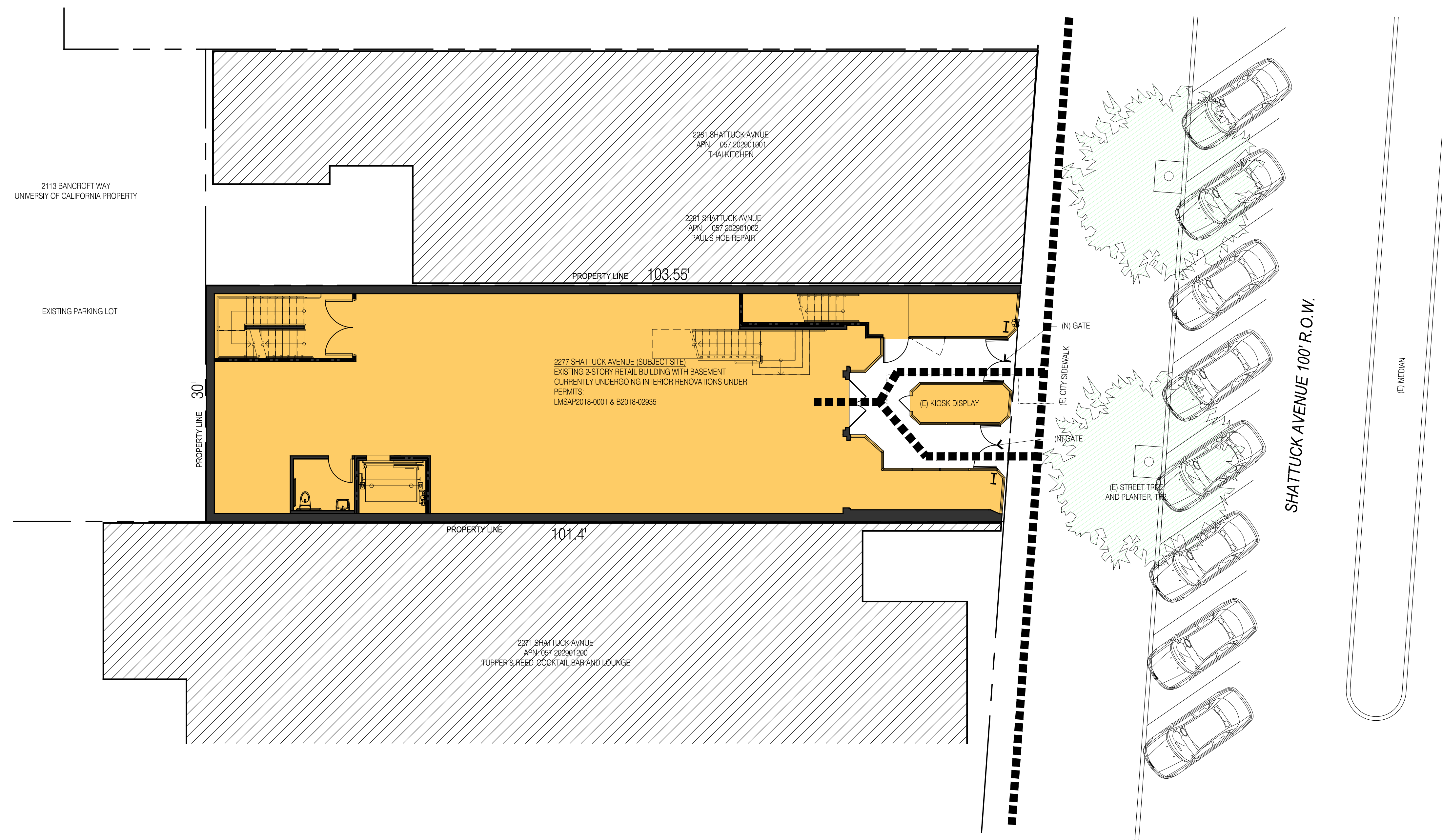
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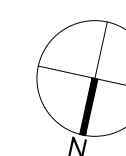
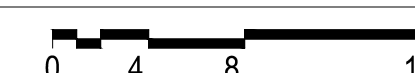


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SHEET:

SITE PLAN

1 SITE PLAN
1/8" = 1'-0"



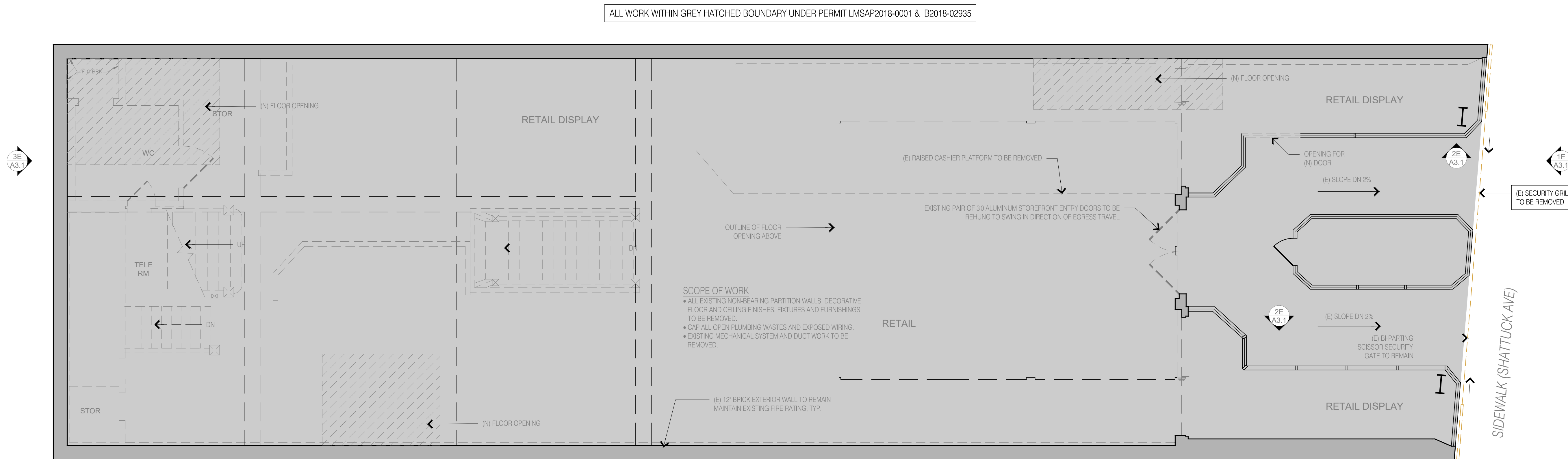
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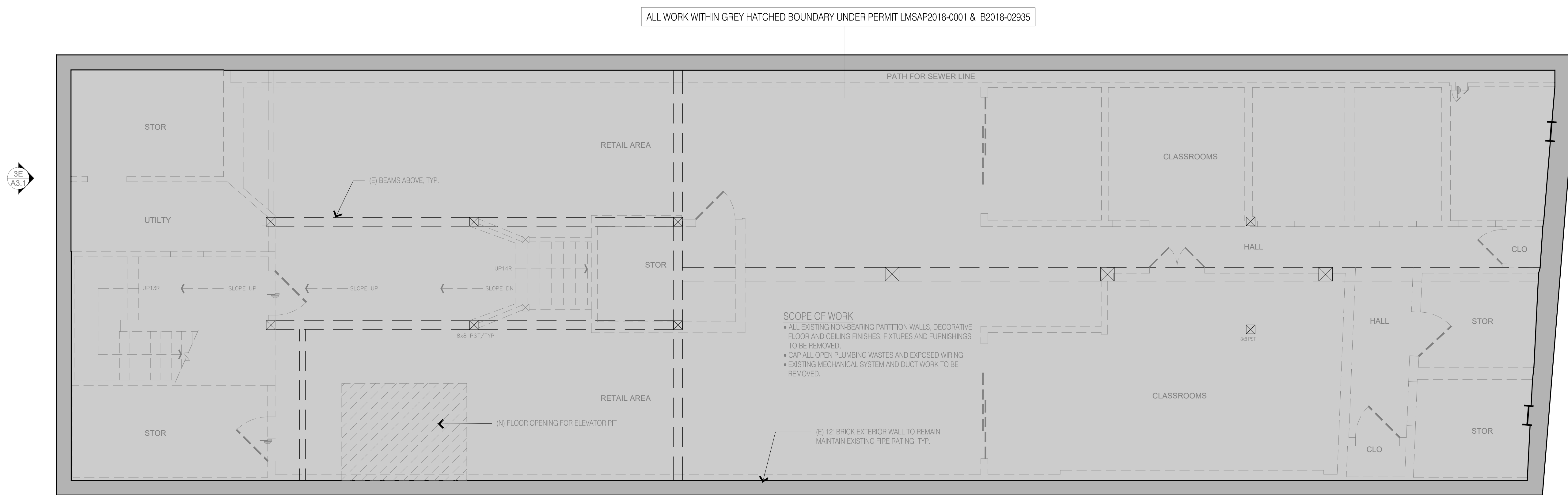
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2 EXISTING GROUND FLOOR DEMO PLAN
1/8"=1'-0"
0 2' 4' 8'



1 EXISTING BASEMENT DEMO PLAN - NO WORK THIS PERMIT
1/8"=1'-0"
0 2' 4' 8'

GENERAL SHEET NOTES

1. CAP (E) PLUMBING AND WASTE LINES TO BE ABANDONED.

LEGEND

- (E) WALL TO REMAIN
- (E) CONSTRUCTION TO BE REMOVED UNDER PERMIT LMSAP2018-0001 AND B2018-029335
- (E) CONSTRUCTION TO BE REMOVED UNDER THIS PERMIT

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SHEET:
EXISTING FLOOR DEMO PLANS

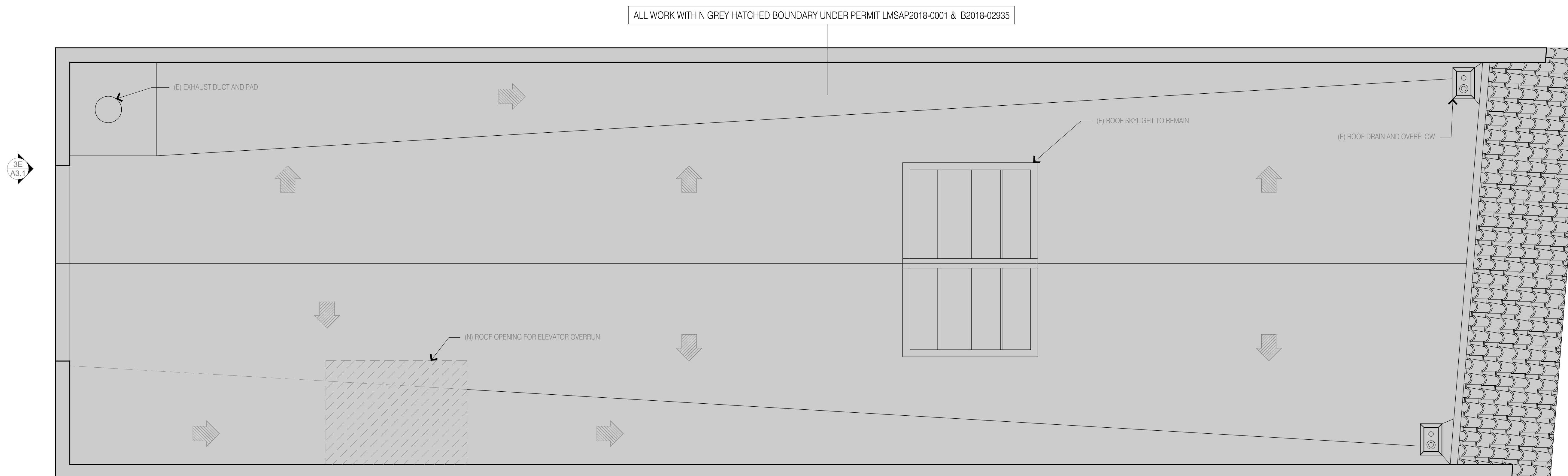
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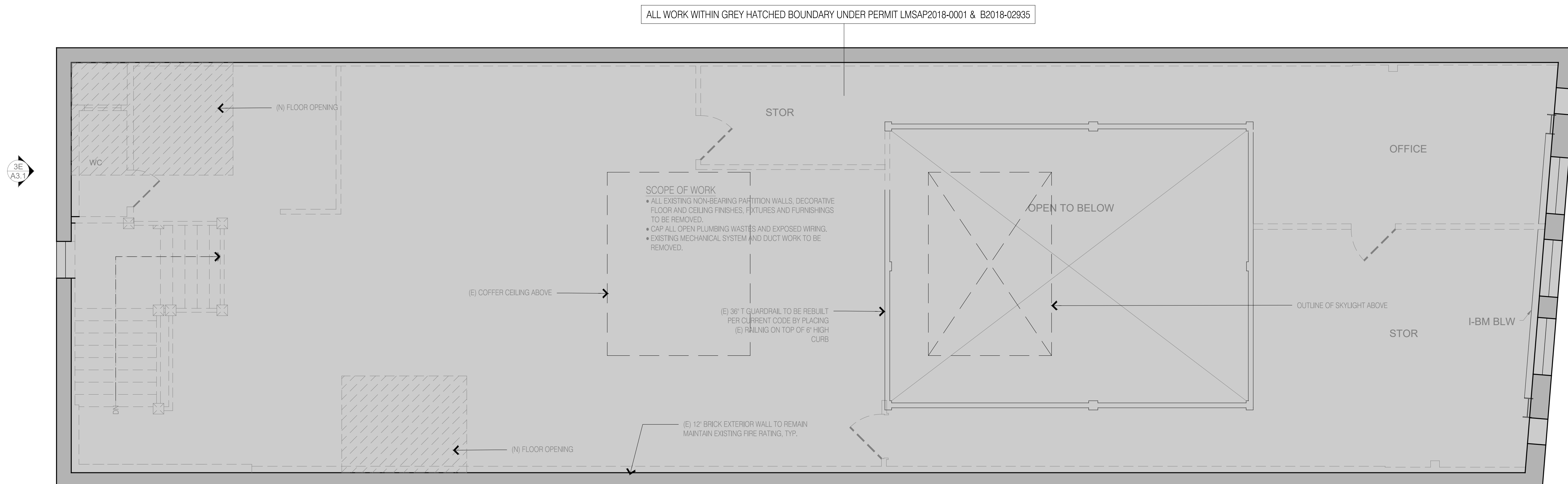
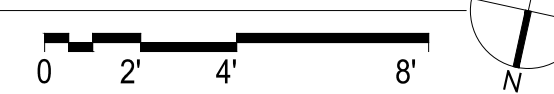
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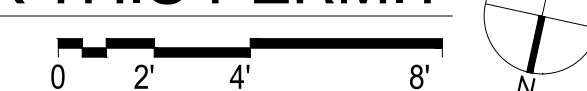
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2 EXISTING ROOF - NO WORK THIS PERMIT
1/8"=1'-0"



1 EXISTING SECOND FLOOR - NO WORK THIS PERMIT
1/8"=1'-0"



GENERAL SHEET NOTES

- CAP (E) PLUMBING AND WASTE LINES TO BE ABANDONED.

LEGEND

- (E) WALL TO REMAIN
- (E) CONSTRUCTION TO BE REMOVED UNDER PERMIT LMSAP2018-0001 AND B2018-029335
- (E) CONSTRUCTION TO BE REMOVED UNDER THIS PERMIT

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EXISTING FLOOR/ROOF DEMO PLANS

A2.0B

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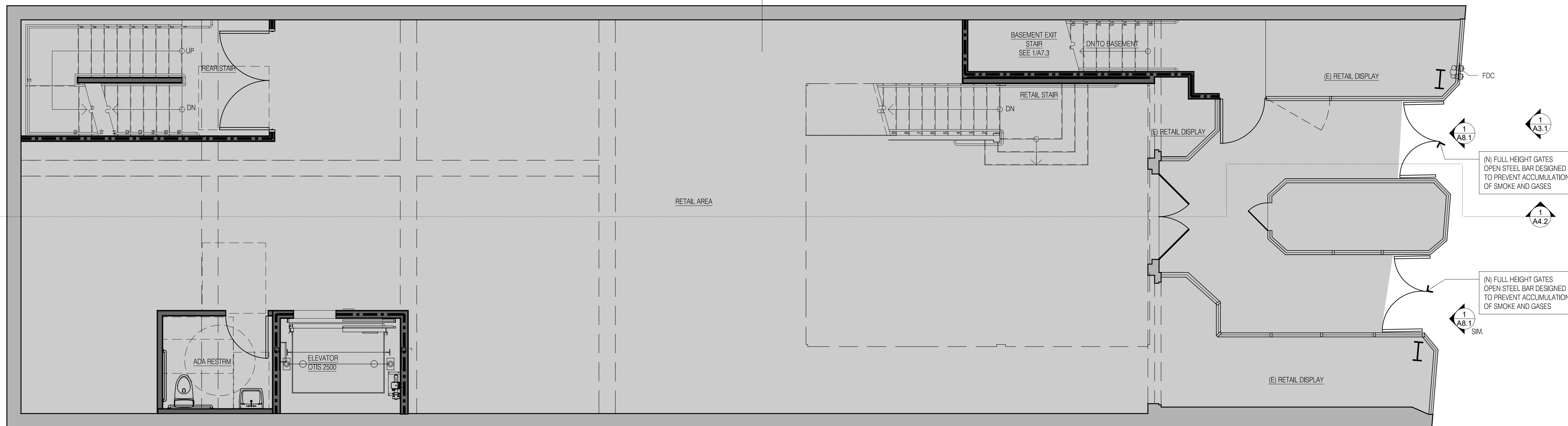


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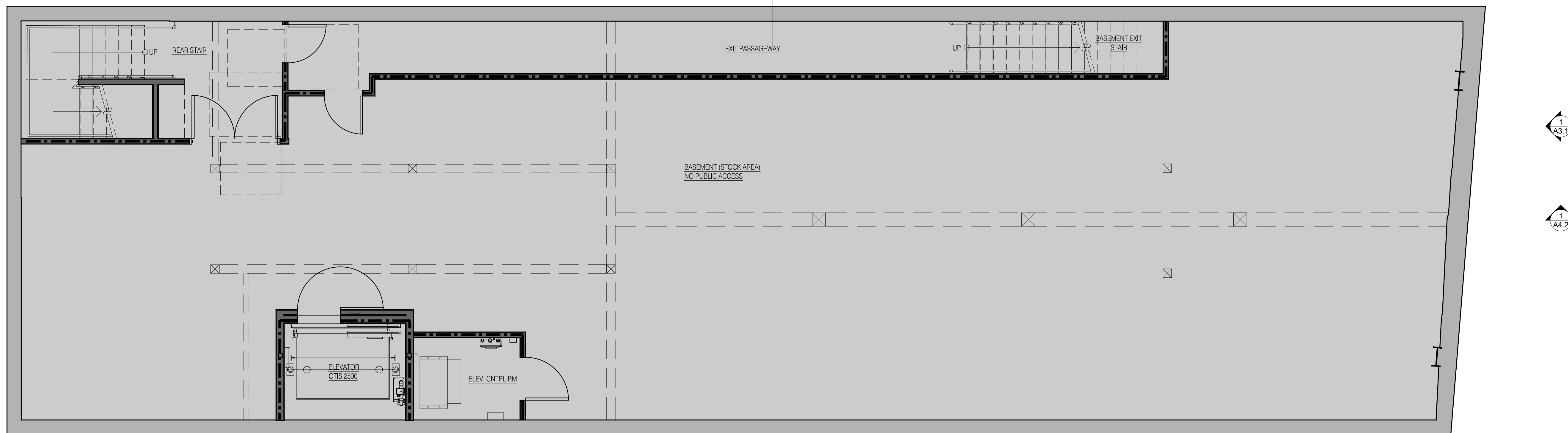
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ALL WORK WITHIN GREY HATCHED BOUNDARY UNDER PERMIT LMSAP2018-0001 & B2018-02935



2 GROUND FLOOR PLAN
1/8"=1'-0" [Scale bar and north arrow]

ALL WORK WITHIN GREY HATCHED BOUNDARY UNDER PERMIT LMSAP2018-0001 & B2018-02935



1 BASEMENT PLAN
1/8"=1'-0" [Scale bar and north arrow]

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PROPOSED FLOOR PLANS

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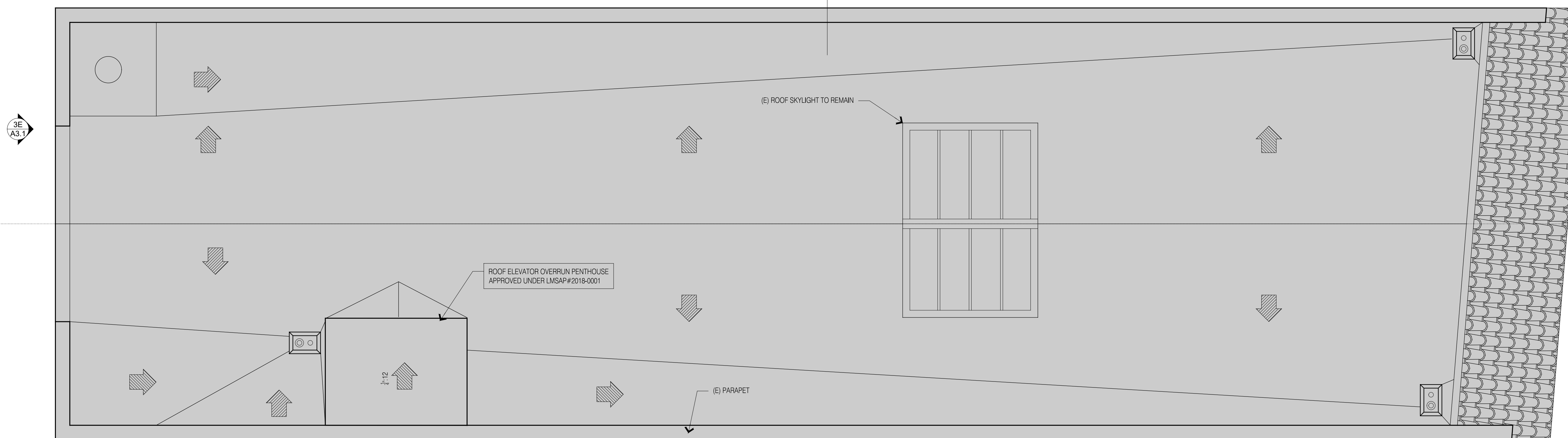


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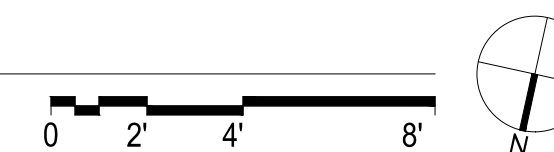
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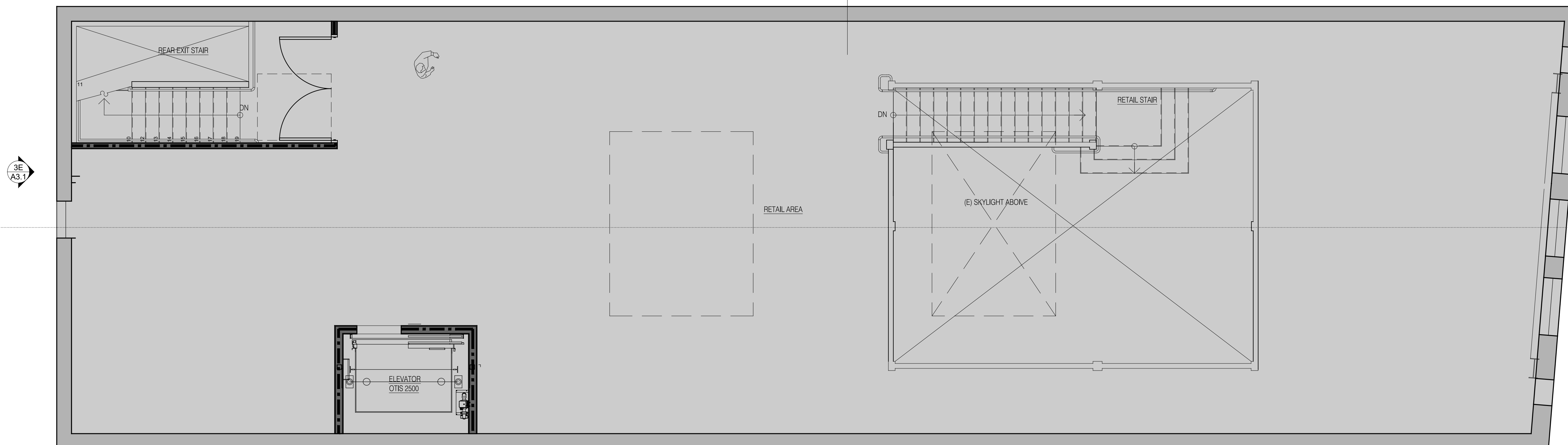
ALL WORK WITHIN GREY HATCHED BOUNDARY UNDER PERMIT LMSAP2018-0001 & B2018-02935



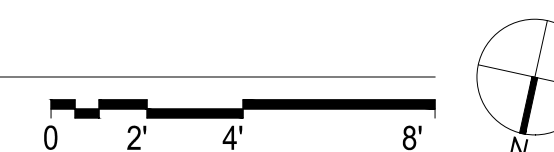
2 ROOF PLAN
1/8" = 1'-0"



ALL WORK WITHIN GREY HATCHED BOUNDARY UNDER PERMIT LMSAP2018-0001 & B2018-02935



1 SECOND FLOOR PLAN
1/8" = 1'-0"



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SHEET:
PROPOSED FLOORS
PLAN



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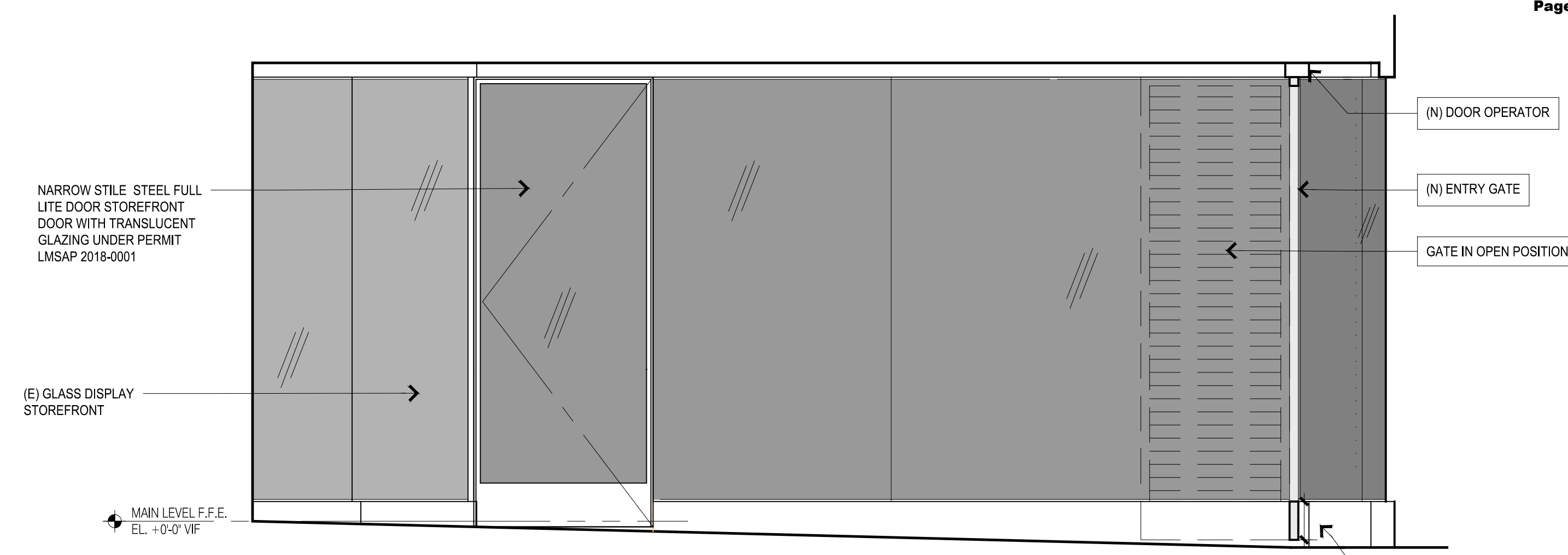
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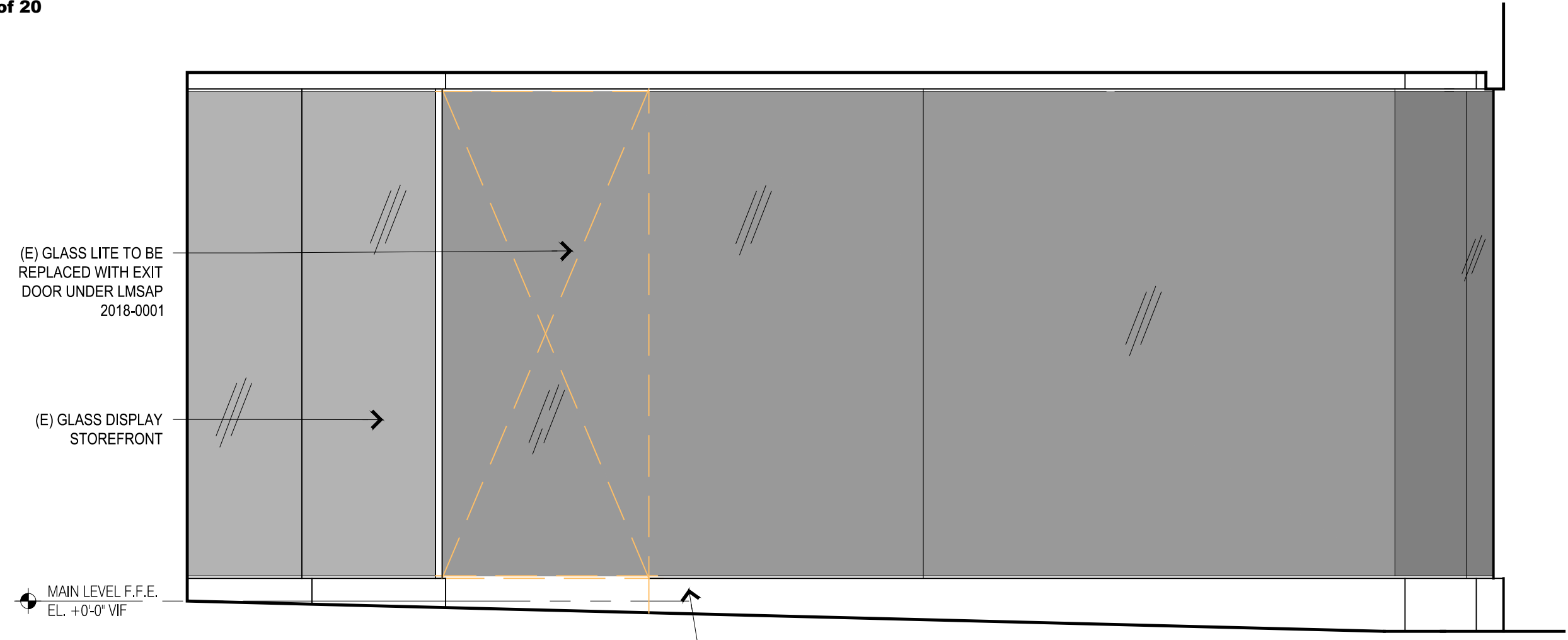
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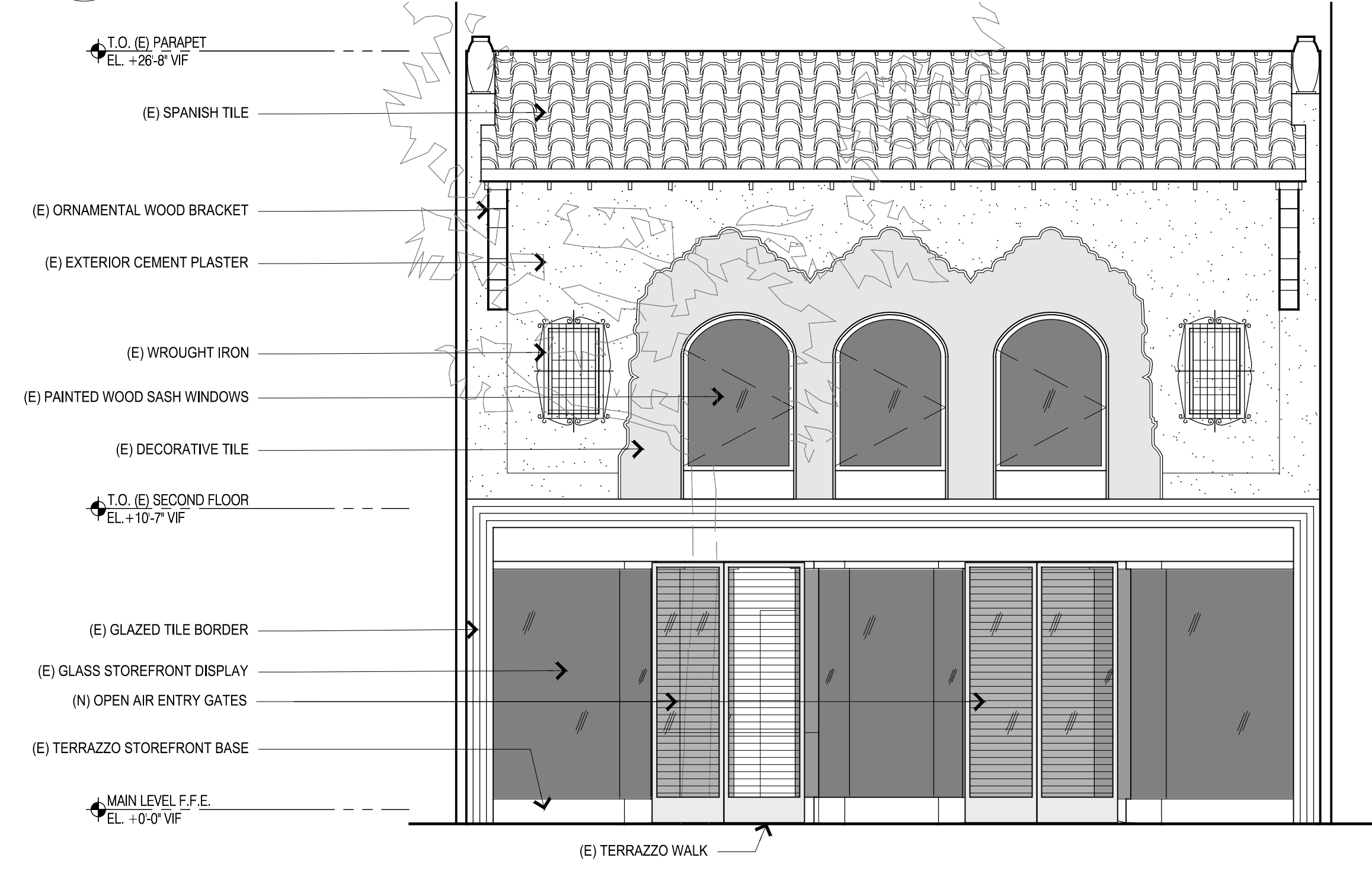
EXTERIOR ELEVATIONS



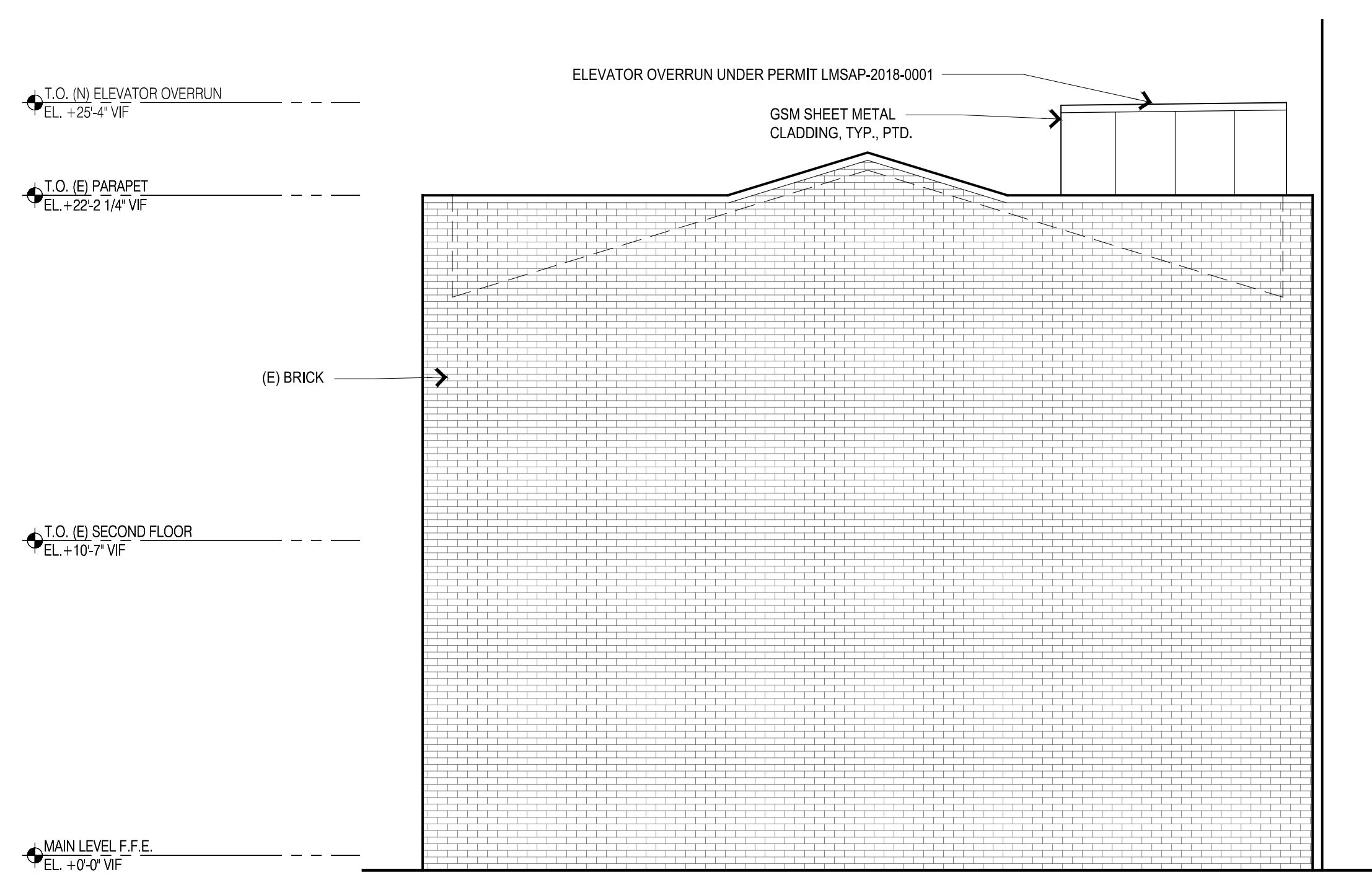
2 SOUTH DISPLAY WRAP - PROPOSED
1/2" = 1'-0"



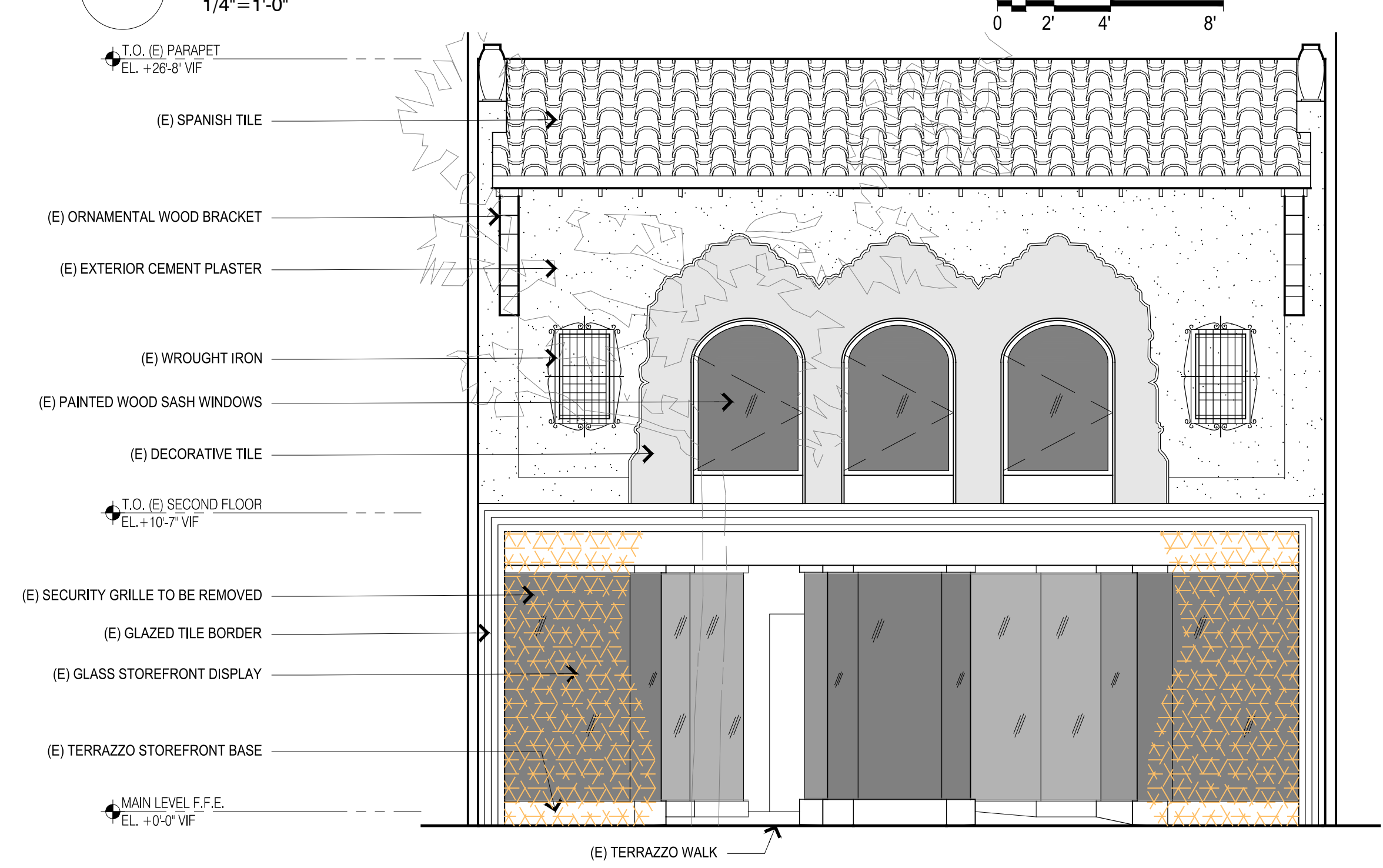
2E SOUTH DISPLAY WRAP - EXISTING
1/2" = 1'-0"



1 SHATTUCK AVENUE FACADE - PROPOSED
1/4" = 1'-0"



3E EAST FACADE - NO CHANGE
1/4" = 1'-0"



1E SHATTUCK AVENUE FACADE - EXISTING
1/4" = 1'-0"

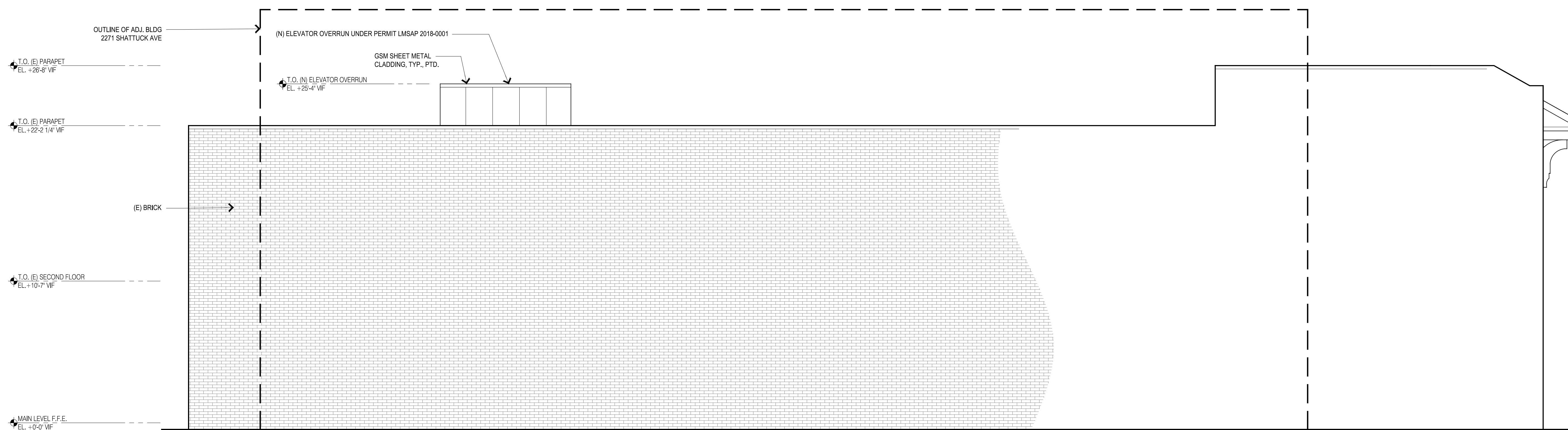
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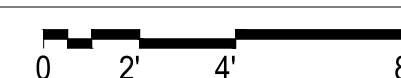


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EXTERIOR ELEVATIONS

1E SOUTH FACADE - NO CHANGE
1/4" = 1'-0"



A3.2

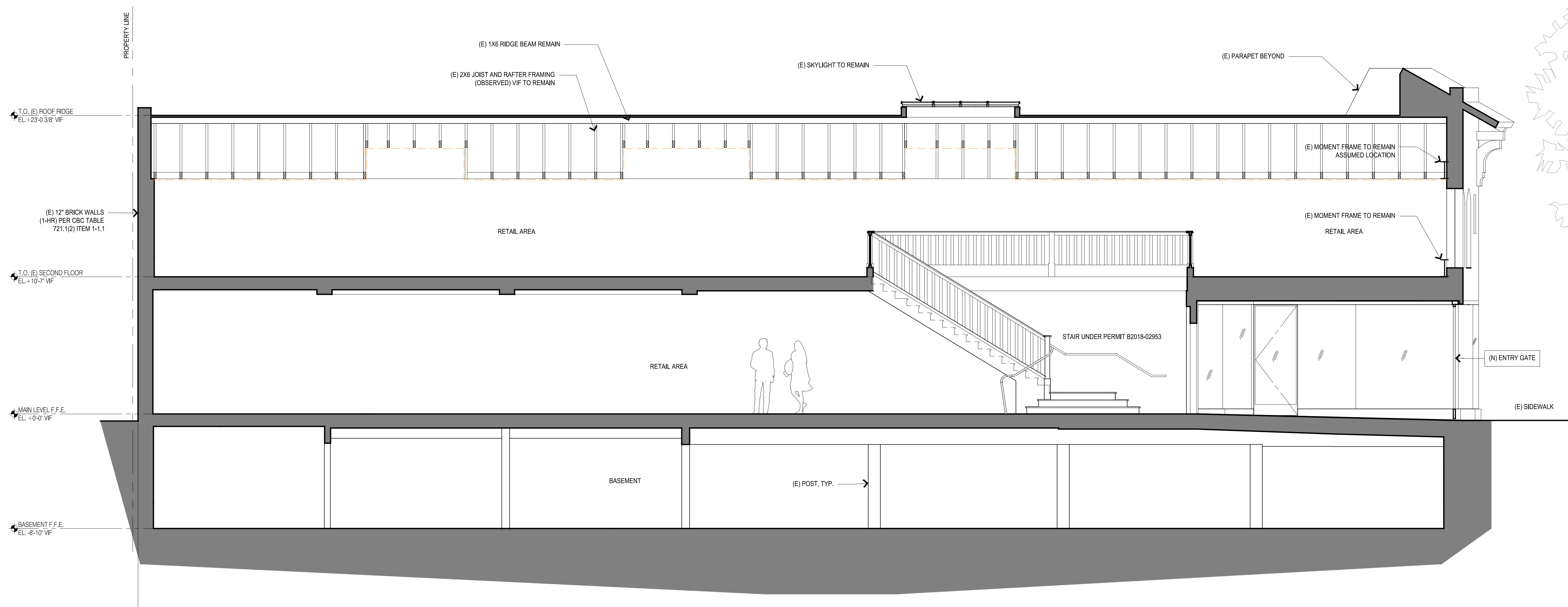
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EAST-WEST BUILDING SECTION

1 E-W BUILDING SECTION - PROPOSED
1/4" = 1'-0"
0 2' 4' 8'

A4.1

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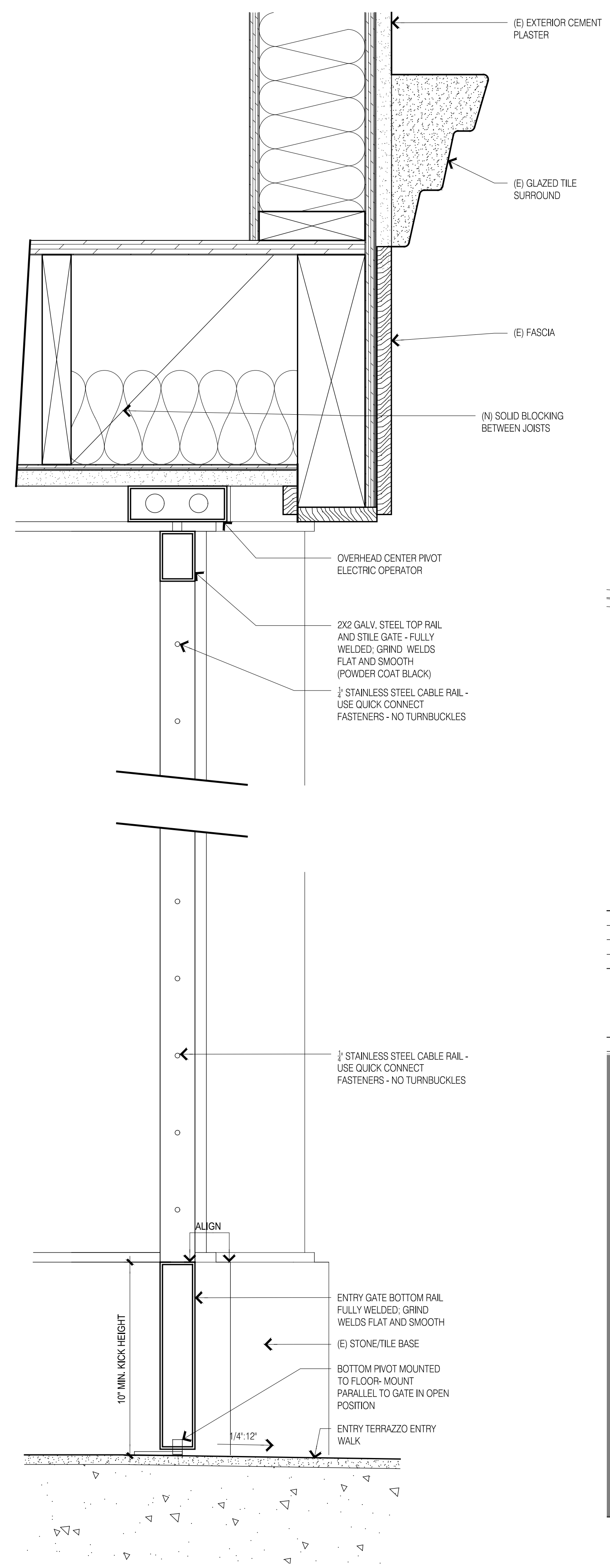
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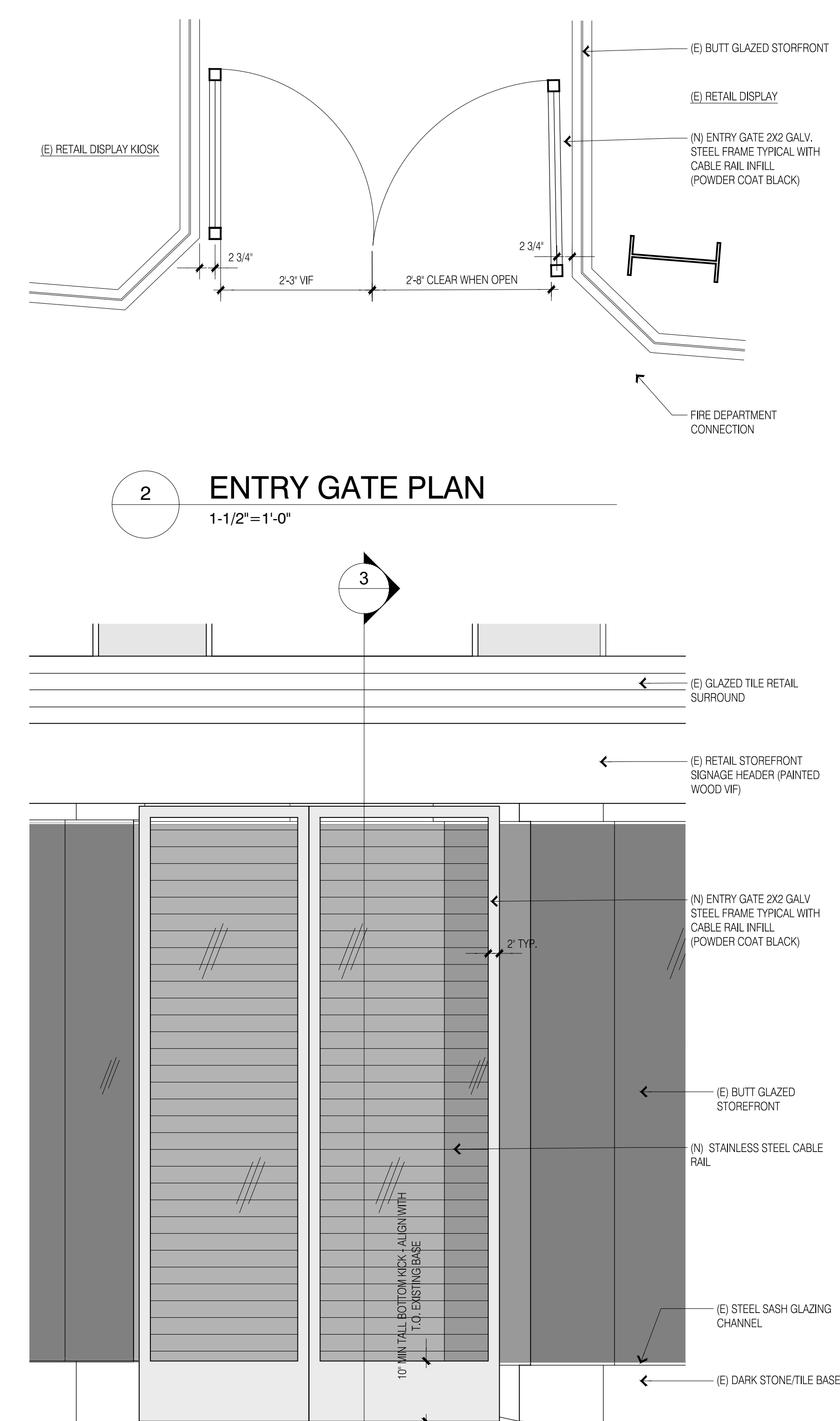
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4 ENTRY GATE REFERENCE
1-1/2" = 1'-0"



3 ENTRY DOOR SECTION
3" = 1'-0"



1 ENTRY GATE ELEVATION
1-1/2" = 1'-0"

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DETAILS

EXISTING MATERIALS & FINISHES

PROPOSED MATERIALS & FINISHES



EXISTING GLASS AND METAL STOREFRONT

Existing Frame Finish: Painted Black
Existing Glazing: Clear



EXISTING METAL STOREFRONT AND CURB

Existing Finish: Painted Black



NEW ENTRY GATE WITH CABLE RAIL INFILL

Frame Finish: Powder Coat Black to match existing steel sash

Infill: 1/4" Stainless Steel Cable Railing

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MATERIAL BOARD

MAT